

**CODE SUMMARY :**

**COMPLY WITH ALL LOCAL CODES**

**GENERAL NOTES:**

1. THESE CONSTRUCTION DOCUMENTS SERVE TO CONVEY GENERAL DESIGN INTENT. ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OF CONSTRUCTION SELECTED BY THE CONTRACTOR NOR DOES THE ARCHITECT ASSUME ANY RESPONSIBILITY FOR THE QUALITY OF CONSTRUCTION OF THE FINISHED PRODUCT.
2. ARCHITECT IS NOT RESPONSIBLE FOR SUPERVISION OF CONSTRUCTION OR FIELD INSPECTION OF CONSTRUCTION, UNLESS OTHERWISE ARRANGED. ANY SITE VISITS ARE TO DETERMINE COMPLIANCE WITH GENERAL AESTHETIC DESIGN INTENT AND NOT TO INSPECT THE QUALITY OR CODE COMPLIANCE OF THE CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL STATE AND LOCAL BUILDING CODES AND SAFETY REGULATIONS.
4. CONTRACTOR IS TO INSTALL ALL FIREPLACES AND CHIMNEYS PER MANUFACTURER'S INSTRUCTIONS AND CODE REQUIREMENTS. CONTRACTOR IS RESPONSIBLE TO VERIFY CLEARANCES AND SIZES, INCLUDING HEARTH EXTENSIONS. CONTRACTOR IS TO VERIFY REQUIRED HEIGHT ABOVE ADJACENT ROOF LINES FOR ALL CHIMNEYS AS REQUIRED PER CODE.
5. UNLESS OTHERWISE SHOWN ON THESE DRAWINGS, FOUNDATION, MECHANICAL SYSTEM, AND ELECTRICAL SYSTEM DESIGNS ARE TO BE PROVIDED BY OTHERS.
6. CONTRACTOR SHALL INSTALL ALL MATERIALS, COMPONENTS AND PRODUCTS ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND REQUIREMENTS. CONTRACTOR SHALL INCLUDE ALL NECESSARY PARTS, ACCESSORIES, SUPPORT AND MATERIAL AS REQUIRED TO PROVIDE A COMPLETE, CODE COMPLIANT, SAFE, AND FUNCTIONING STRUCTURE.
7. CONTRACTOR OR OWNER SHALL PROVIDE SAMPLES TO THE APPLICANT FOR MATERIAL SELECTION. CONTRACTOR OR OWNER SHALL RETAIN A DOCUMENT, SIGNED BY APPLICANT, STATING THAT THE APPLICANT APPROVES COLOR AND QUALITY OF PAINT, FLOORING, HARDWARE, COUNTERTOPS.

**NOTES TO OWNER/CONTRACTOR:**

1. ANY REQUIRED SETBACKS, SITE RESTRICTIONS/CONDITIONS, ETC., ARE TO BE VERIFIED WITH LOCAL BUILDING MUNICIPALITIES BY THE CONTRACTOR. THE DRAFTER/ARCHITECT IS NOT RESPONSIBLE FOR THE ORIENTATION AND PLACEMENT OF THE BUILDING(S) ON SITE. THE CONTRACTOR IS TO TAKE FULL RESPONSIBILITY FOR SITE CONSTRUCTION UPON EVALUATION OF SURVEY, FLOOD CERTIFICATE, BUILDING ZONING ORDINANCE, HISTORICAL OVERLAY DISTRICTS, AND LOCAL FIRE AND BUILDING CODES.
2. ALL WORK PERFORMED IN AREAS WITHOUT A LOCAL BLDG. OFFICIAL SHALL BE INSPECTED BY A PRIOR APPROVED THIRD PARTY.
3. CONTRACTOR RESPONSIBLE FOR JOB SITE EXAMINATION, VERIFICATION, AND LOCATION OF ALL SITE REQUIREMENTS INCLUDING, BUT NOT EXCLUSIVE OF STAIRS, RAMPS, PARKING LAYOUT, BUILDING SETBACKS AND EASEMENTS, UTILITY CONNECTIONS, AND A/C COMPRESSOR LOCATIONS.
4. CONTRACTOR RESPONSIBLE FOR REFERENCING SURVEY AND/OR ELEVATION BENCHMARK CERTIFICATE FOR SITING OF BUILDING.
5. CONTRACTOR RESPONSIBLE FOR FINISH FLOOR ELEVATION VERIFICATION TO COMPLY WITH FEMA BASE FLOOD ELEVATION.
6. CONTRACTOR RESPONSIBLE TO SUBMIT AND RECEIVE ALL BUILDING PERMITS AND INSPECTIONS REQUIRED TO OBTAIN A CERTIFICATE OF OCCUPANCY.

**GENERAL MATERIALS:**

1. EXTERIOR WALLS:
  - 2x STUDS @ 16" O.C.
  - PAINTED CEMENTITIOUS BOARD SIDING & BRICK
  - R-13 BATT INSULATION OR BETTER (TYP. UNLESS SPECIFIED IN WALL SECTIONS)
  - BUILDING WRAP AKA "HOUSE WRAP"
  - 1/2" GYPSUM BOARD INTERIOR (TYP. UNLESS SPEC'D IN FINISH SCHEDULE)
  - 1/2" WINDSTORM O.S.B. SHEATHING (TYP. UNLESS SPEC'D BY OTHER DETAIL)
2. INTERIOR WALLS:
  - 2x STUDS @ 16" O.C.
  - 1/2" GYPSUM BOARD INTERIOR (TYP. UNLESS SPEC'D IN FINISH SCHEDULE)
3. CEILING:
  - 2x6 OR 2x8 JOIST @ 16" O.C. (TYP. SEE FRAMING PLAN FOR LAYOUT)
  - R38 INSULATION OR BETTER (TYP. UNLESS SPECIFIED IN WALL SECTIONS)
  - 1/2" GYPSUM BOARD INTERIOR (TYP. UNLESS SPEC'D IN FINISH SCHEDULE)
4. ROOF:
  - 30 YEAR ARCHITECTURAL SHINGLE
  - SYNTHETIC FELT
  - 7/16" OR 5/8" O.S.B. OR CDX PLYWOOD OR FOIL FACED O.S.B.
  - 2x6 RAFTERS @ 24" O.C.
  - 2x8 RIDGE BOARDS

NOTE: ALL ROOFING PRODUCTS, MATERIALS AND INSTALLATION SHALL COMPLY WITH THE REQUIREMENTS OF LOCAL CODES.

**TERMITE PROTECTION:**

1. TERMITE CONTROL: IN AREAS FAVORABLE TO TERMITE DAMAGE: THE METHOD OF PROTECTION SHALL BE BY CHEMICAL SOIL TREATMENT OR PHYSICAL BARRIERS (SUCH AS METAL OR PLASTIC TERMITE SHIELDS) OR ANY COMBINATION OF THESE METHODS.
2. CHEMICAL SOILD TREATMENT: THE CONCENTRATION, RATE OF APPLICATION AND TREATMENT METHOD OF THE TERMICIDE SHALL BE CONSISTENT WITH AND NEVER LESS THAN THE TERMICIDE LABEL.
3. FIELD TREATMENT: SOIL DISTURBANCES, FIELD CUT ENDS, NOTCHES, AND DRILLED HOLES OF PRESSURE-TREATED WOOD SHALL BE RETREATED IN THE FIELD ACCORDING TO AWPA M4. ALL RAW WOOD MATERIAL MUST BE REMOVED FROM PERIMETER CONTACT OF HOME.

**WIND ZONE DISCLAIMER:**

1. VERIFY WINDOW CODE REQUIREMENTS AT EACH BUILDING LOCATION, AND INSTALL WINDOWS PER CODE. REQUIREMENTS WILL VARY FROM DIFFERENT TYPES OF WINDOWS.
2. ALL WINDOWS SHALL COMPLY WITH THE GOVERNING IRC/IBC. WINDOWS SHALL BE SELECTED BASED UPON THE COMPONENT AND CLADDING DESIGN PRESSURES.
3. CONTRACTORS RESPONSIBLE FOR ANCHORAGE OF BOTTOM PLATE AND WALL STUDS TO FOUNDATION IN COMPLIANCE WITH THE GOVERNING EDITION OF IRC/IBC 1609.

# CONSTRUCTION PLANS

FOR:

## Southern Heritage Construction

PLAN 2751  
23 OCT 2024

SHEET LIST	
SHEET NO.	SHEET NAME
000-C	Cover Sheet
ARCH-200	1st Floor Plan & Schedules
ARCH-210	2nd Floor Plan & Schedules
ARCH-300	Wall Details & Roof Plan
ARCH-400	Elevations - Front & Rear
ARCH-410	Elevations - Left & Right
ELEC-600	Electrical Plans
PLUMB-700	Plumb & Find. Dimensions
CEING-800	Ceiling, Joist Plan



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Southern Heritage Construction

4 BEDROOM | 3.5 BATH | STUDY | FINALS V3

**PLAN 2751**

59' LOT DESIGN

Livable	
1st Floor	2214 SF
2nd Floor	598 SF
	2813 SF
Non-Livable	
Garage	775 SF
Porch	416 SF
	1191 SF
Total Under Roof	
Under Roof	4004 SF
	4004 SF

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000-C

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**Southern Heritage Construction**

FINALS V3

4 BEDROOM | 3.5 BATH | STUDY

**PLAN 2751**

59' LOT DESIGN

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	2813 SF
Non-Livable	
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Porch	416 SF
	1191 SF
Total Under Roof	4004 SF
Under Roof	4004 SF

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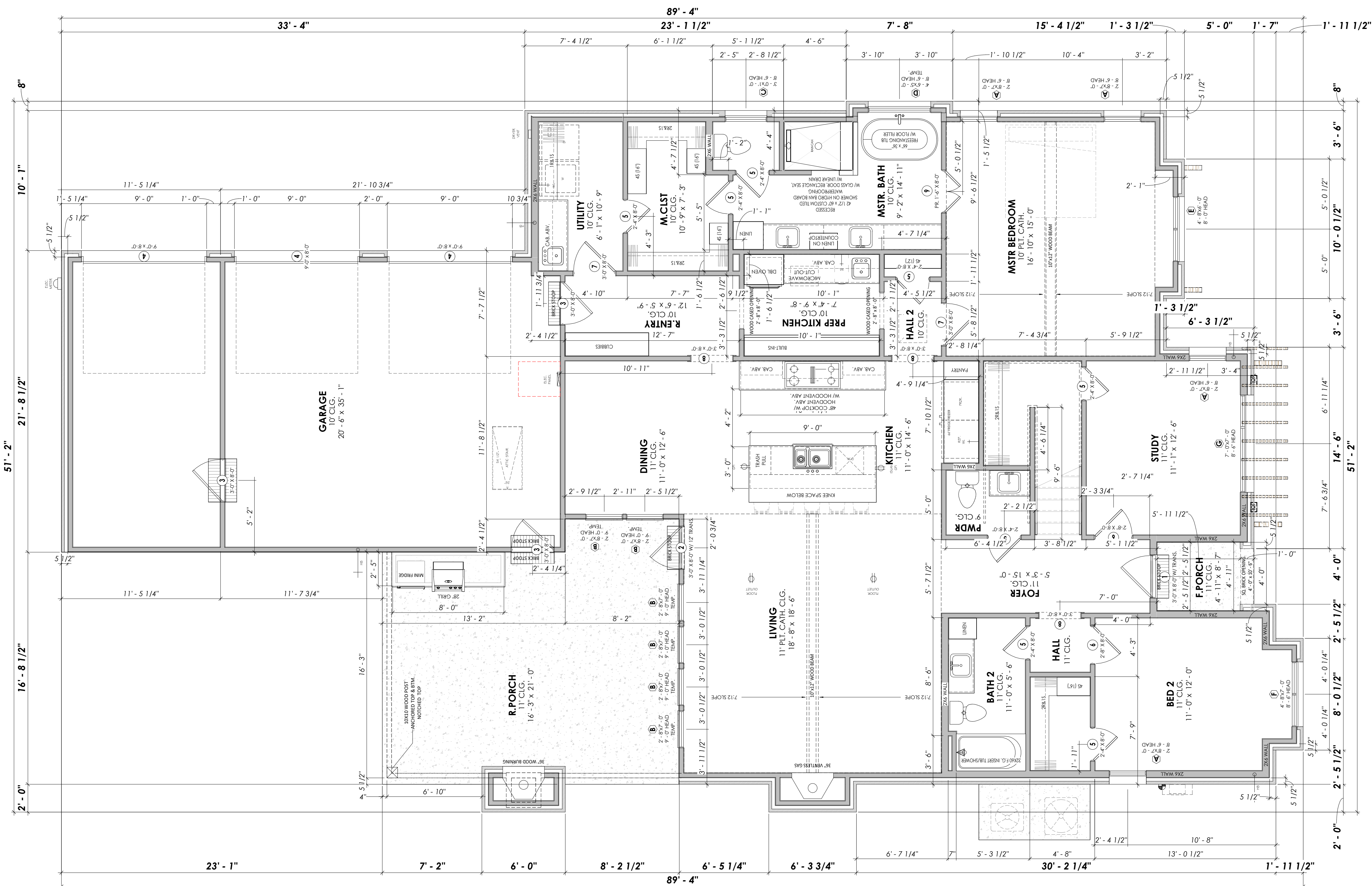
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**ARCH-200**

1 1ST FLOOR PLAN



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Southern Heritage Construction  
4 BEDROOM | 3.5 BATH | STUDY  
FINAL V3

PLAN 2751

59' LOT DESIGN

Table with 2 columns: Category and Area. Includes Livable (1st Floor: 2214 SF, 2nd Floor: 598 SF), Non-Livable (Garage: 775 SF, Porch: 416 SF), Total Under Roof (4004 SF), and Under Roof (4004 SF).

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ARCH-210

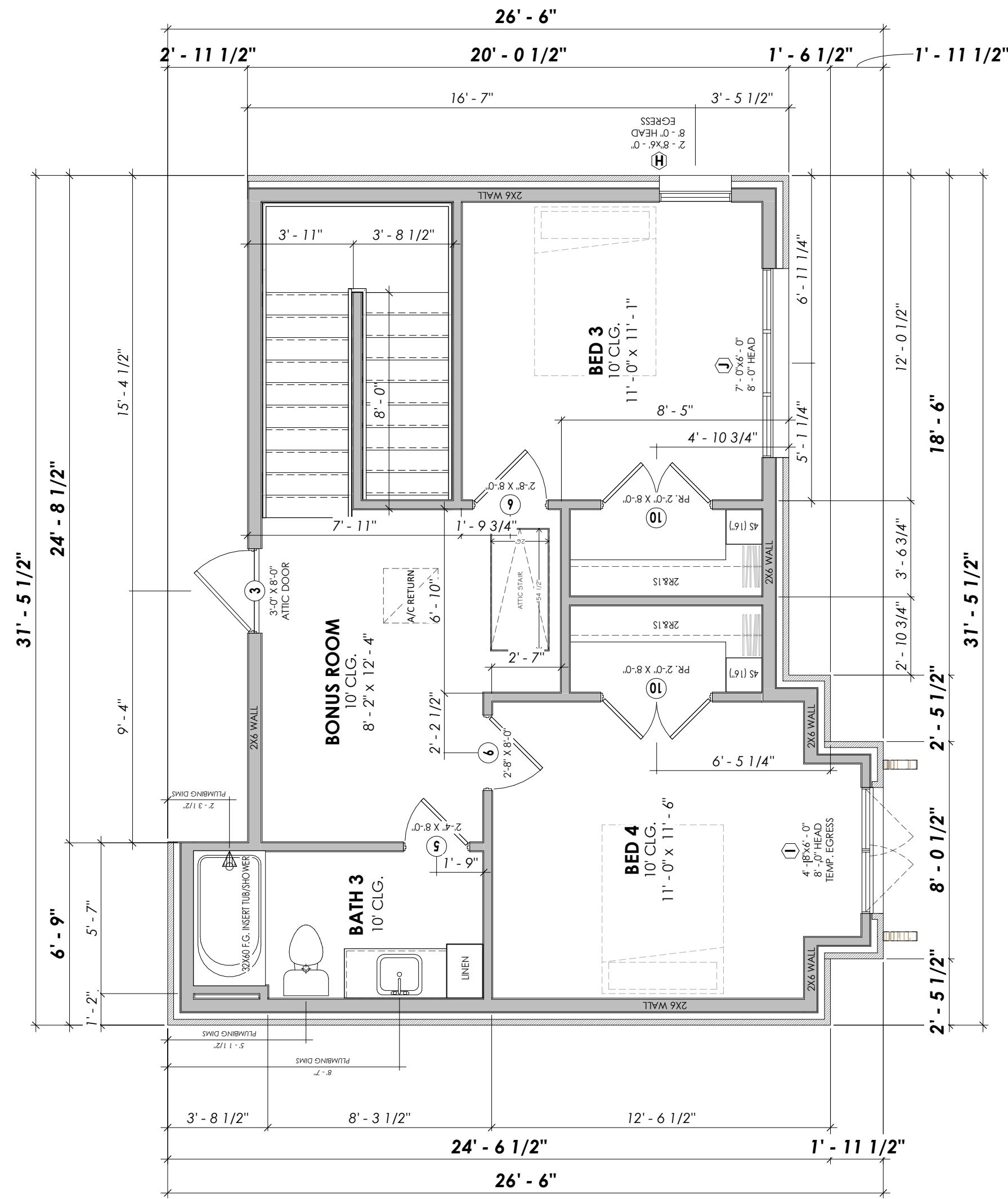
1-ROOM FINISH SCHEDULE table with columns: ROOM NAME, FLOOR FINISHES, WALL FINISHES, CEILING FINISHES, CLG. HT., REMARKS. Lists finishes for rooms like F.PORCH, FOYER, LIVING, etc.

2-DOOR SCHEDULE table with columns: ID, DOOR SIZE, DESCRIPTION, MODEL, COMMENTS, COUNT. Lists door specifications for various rooms.

3-WINDOW SCHEDULE table with columns: ID, WIDTH, HEIGHT, DESCRIPTION, MODEL, HEAD HEIGHT, COMMENTS, COUNT. Lists window specifications for various rooms.

N - TRIM NOTES table listing specifications for baseboards, door casings, window stools, crown moulding, and garage trim.

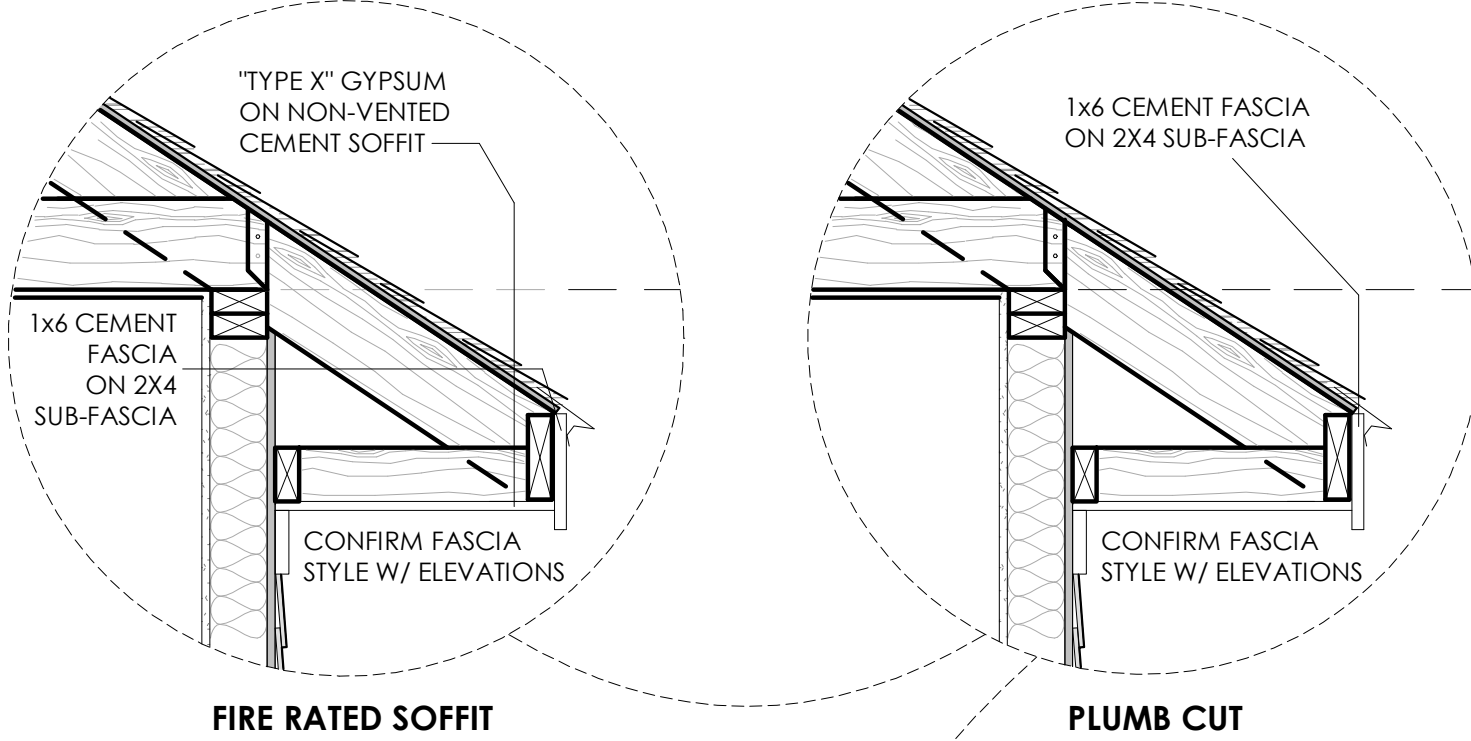
N - FLOOR NOTES table listing instructions for venting, address placement, cabinet finishing, and attic stairs.



1 2ND FLOOR PLAN

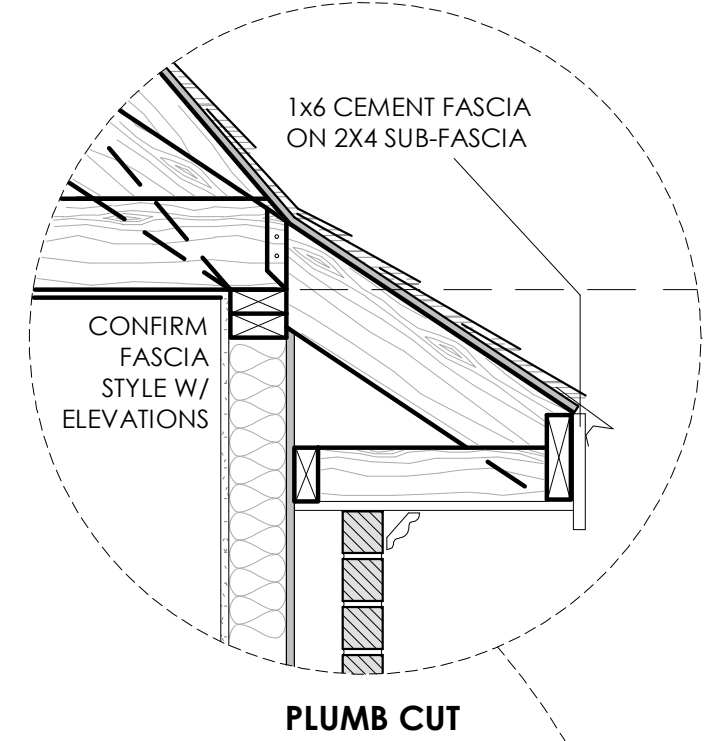
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**FIRE RATED SOFFIT IF REQ.**

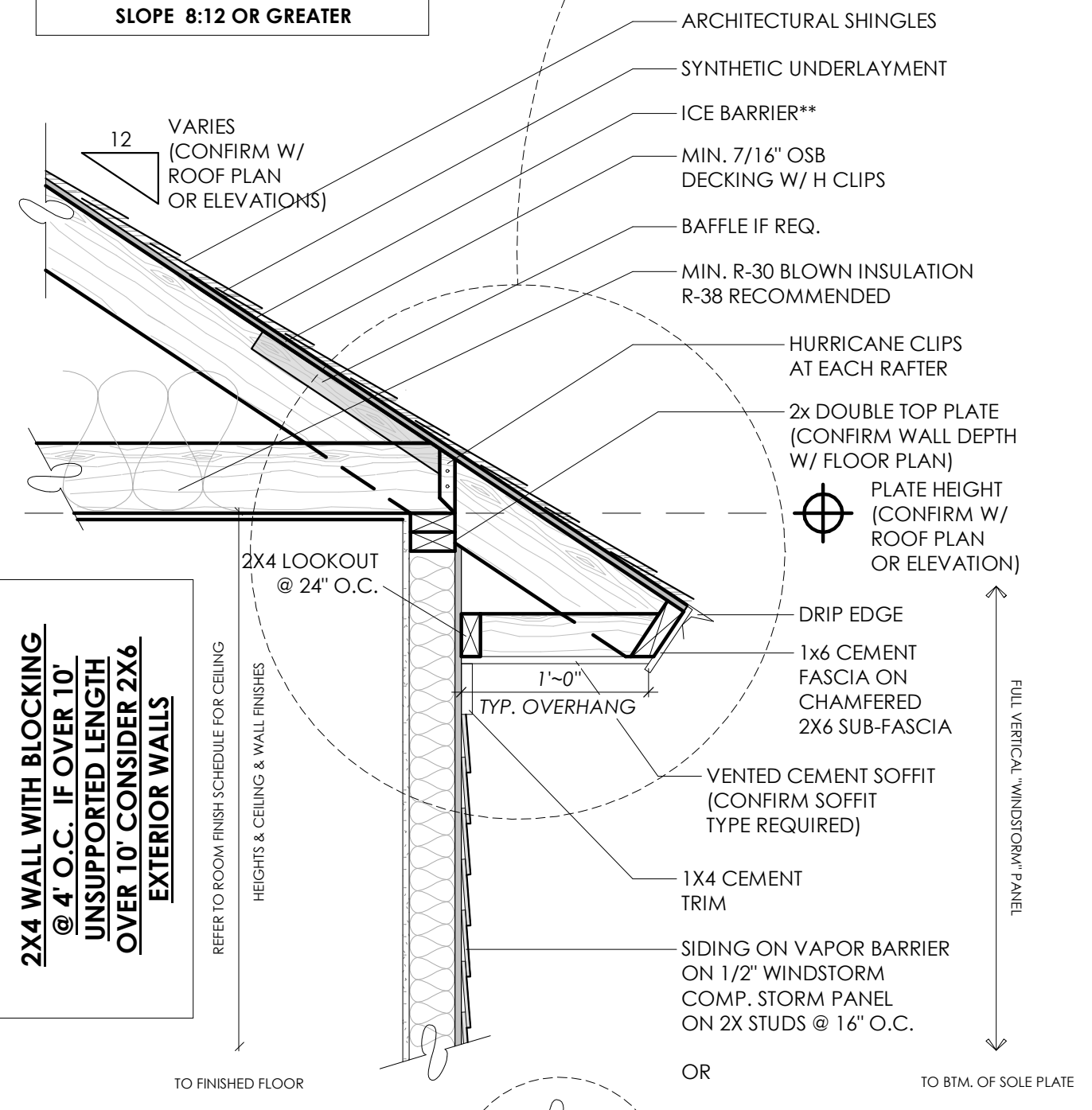
**PLUMB CUT**



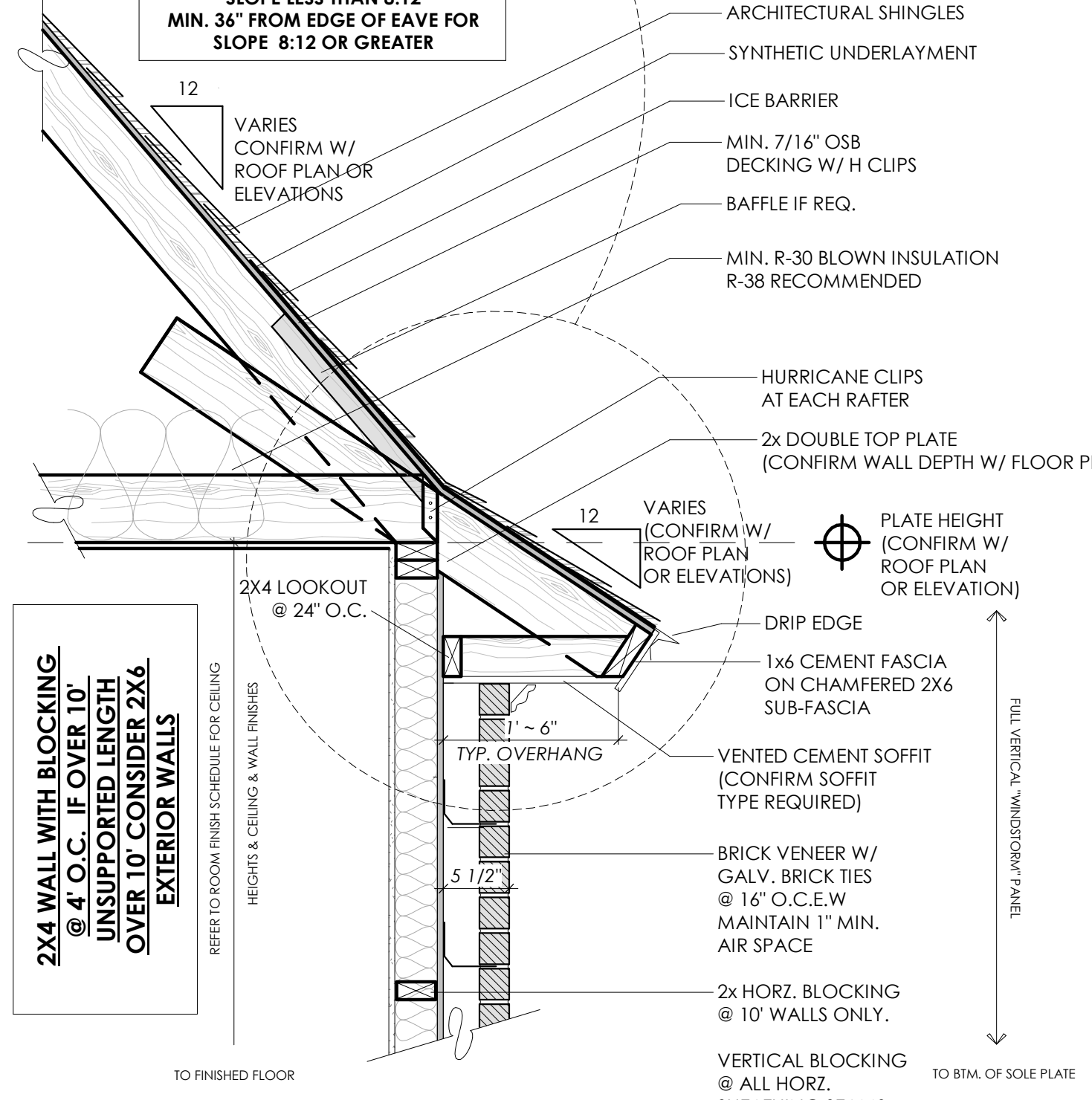
**PLUMB CUT**

**\*\*PEEL & STICK ICE BARRIER THAT EXTENDS FROM EDGE OF ROOF TO MIN. 24" INSIDE EXTERIOR WALL FOR SLOPE LESS THAN 8:12 MIN. 36" FROM EDGE OF EAFF FOR SLOPE 8:12 OR GREATER**

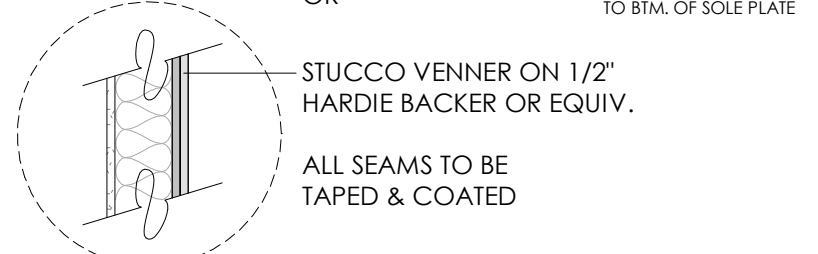
**\*\*PEEL & STICK ICE BARRIER THAT EXTENDS FROM EDGE OF ROOF TO MIN. 24" INSIDE EXTERIOR WALL FOR SLOPE LESS THAN 8:12 MIN. 36" FROM EDGE OF EAFF FOR SLOPE 8:12 OR GREATER**



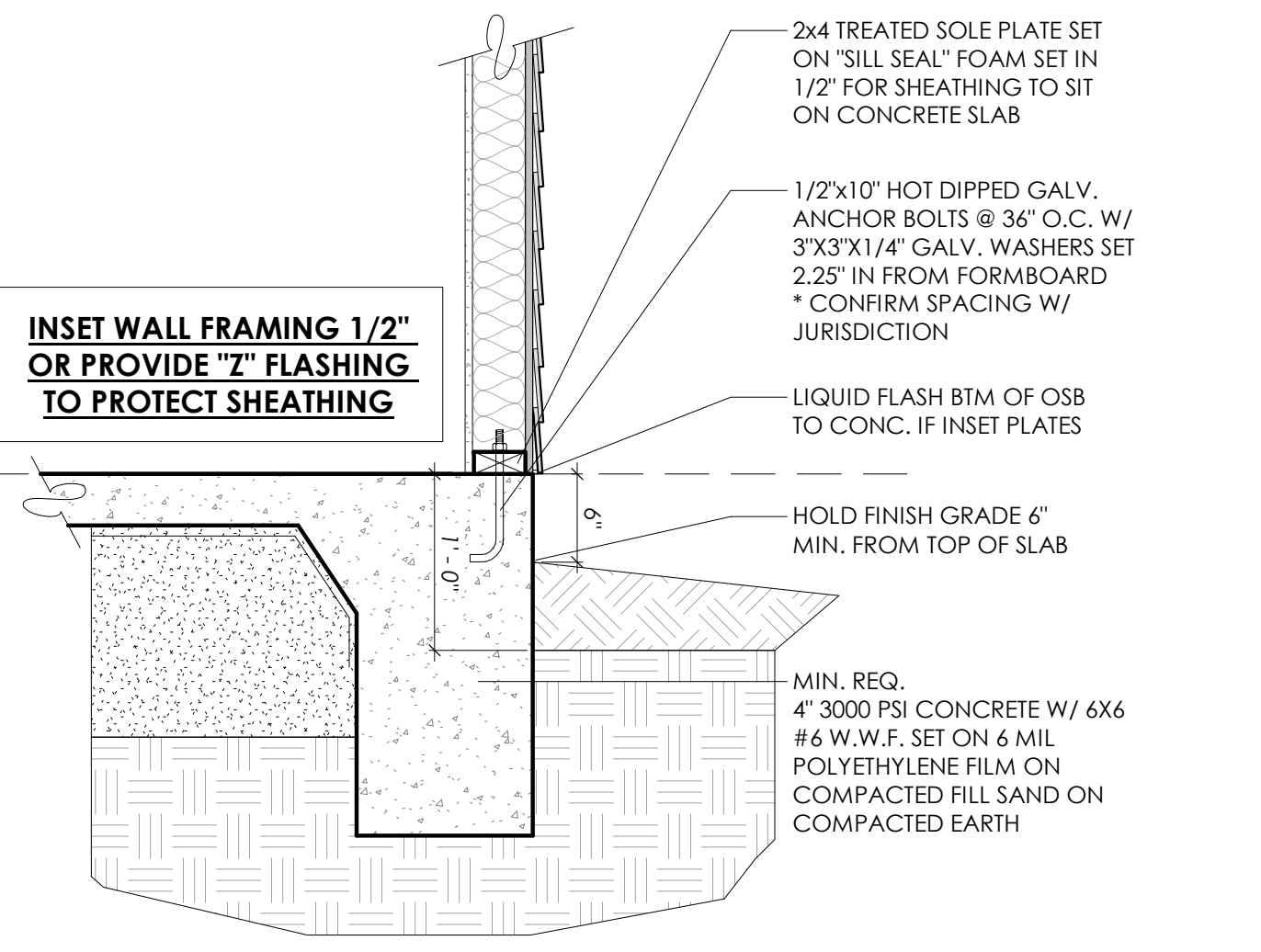
**STANDARD RAFTER**



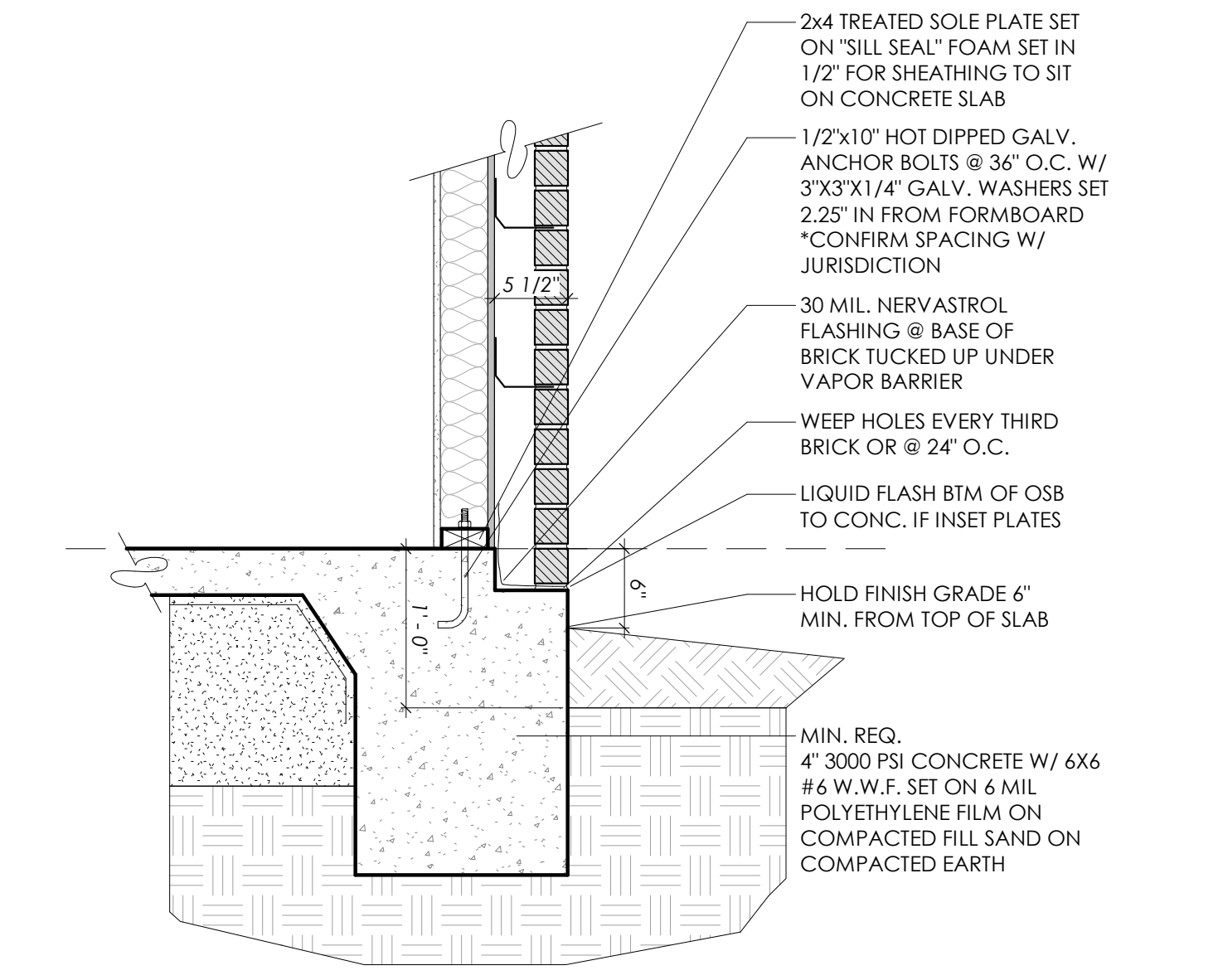
**BELL ROOF (DUAL PITCH)**



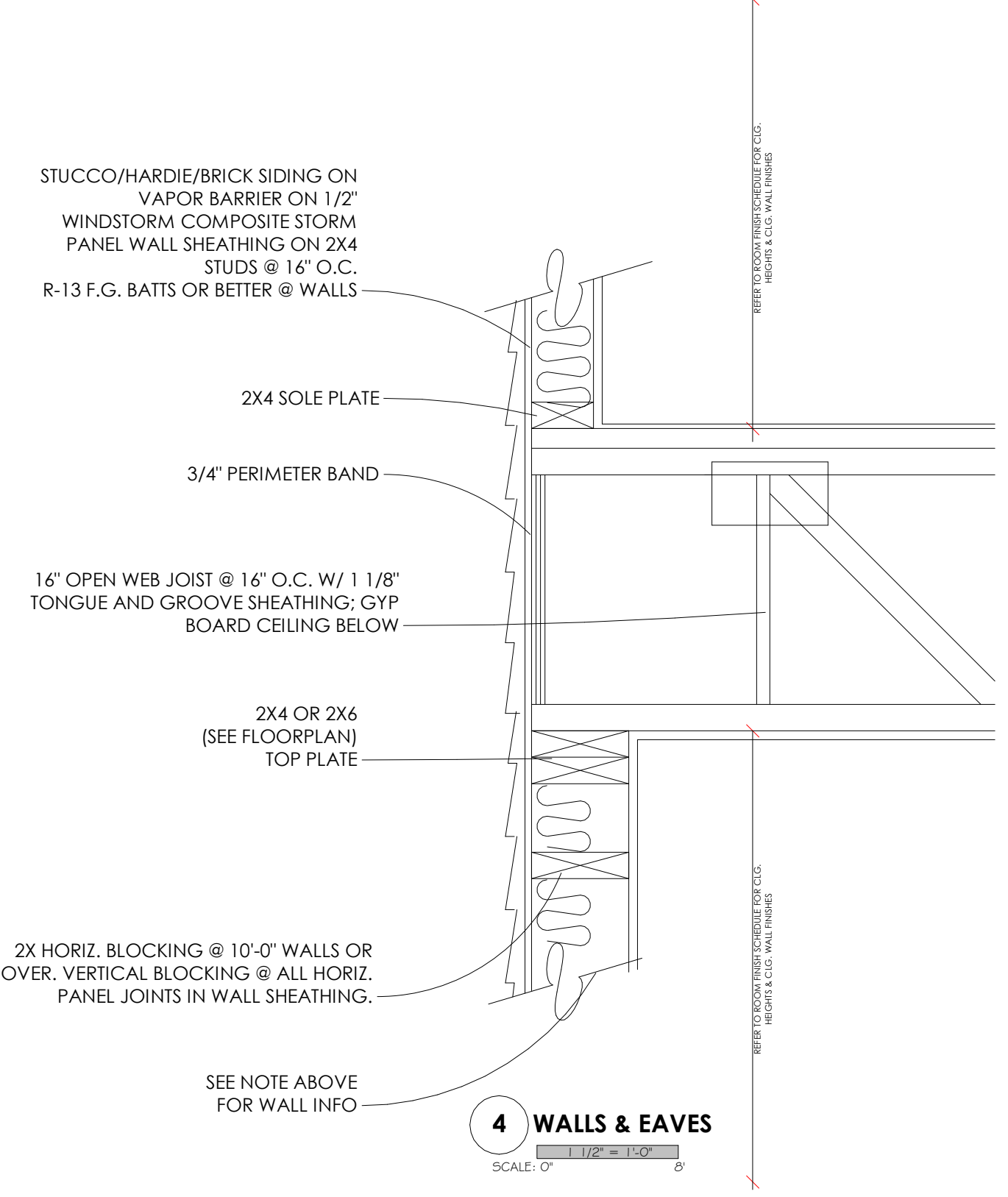
**STUCCO WALL DETAIL**



**SIDING OR STUCCO WALL BASE**



**BRICK WALL BASE**

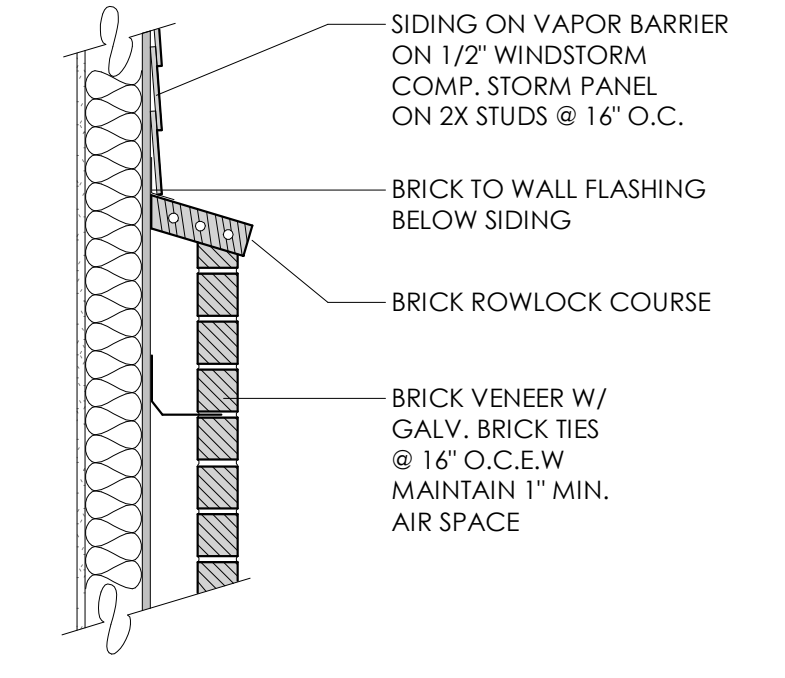


**4 WALLS & EAVES**

**EXTRA SHEETS/DETAILS FOR THIS CUSTOM PLAN ARE AVAILABLE:**

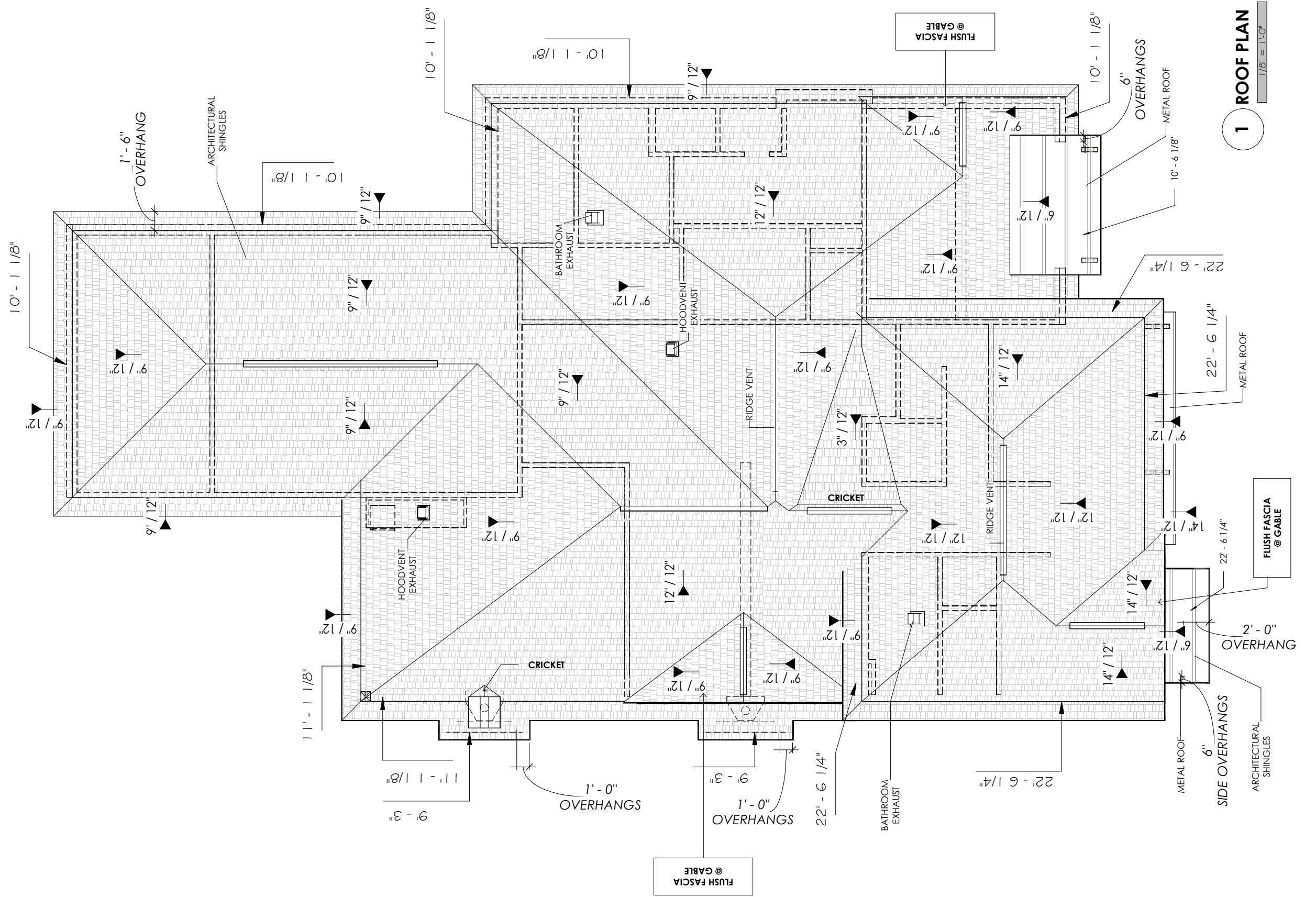
1. SITE PLAN (PLOT PLAN)
2. CABINET ELEVATIONS/VIEWS
3. PLUMBING DIAGRAM
4. FOUNDATION PLAN\*
5. BUILDING SECTIONS

PLEASE CONTACT PASSION HOME DESIGN FOR ADDITIONAL DETAILS.



**BRICK WAINSCOTING OR BRICK TO SIDING**

**3 WALLS & EAVES**



**1 ROOF PLAN**

**2 WALLS & EAVES**



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**Southern Heritage Construction**

4 BEDROOM | 3.5 BATH | STUDY

FINAL V3

**PLAN 2751**

59' LOT DESIGN

Living	2214 SF
1st Floor	598 SF
2nd Floor	2813 SF
Non-Livable	
Garage	775 SF
Porch	416 SF
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Under Roof	4004 SF

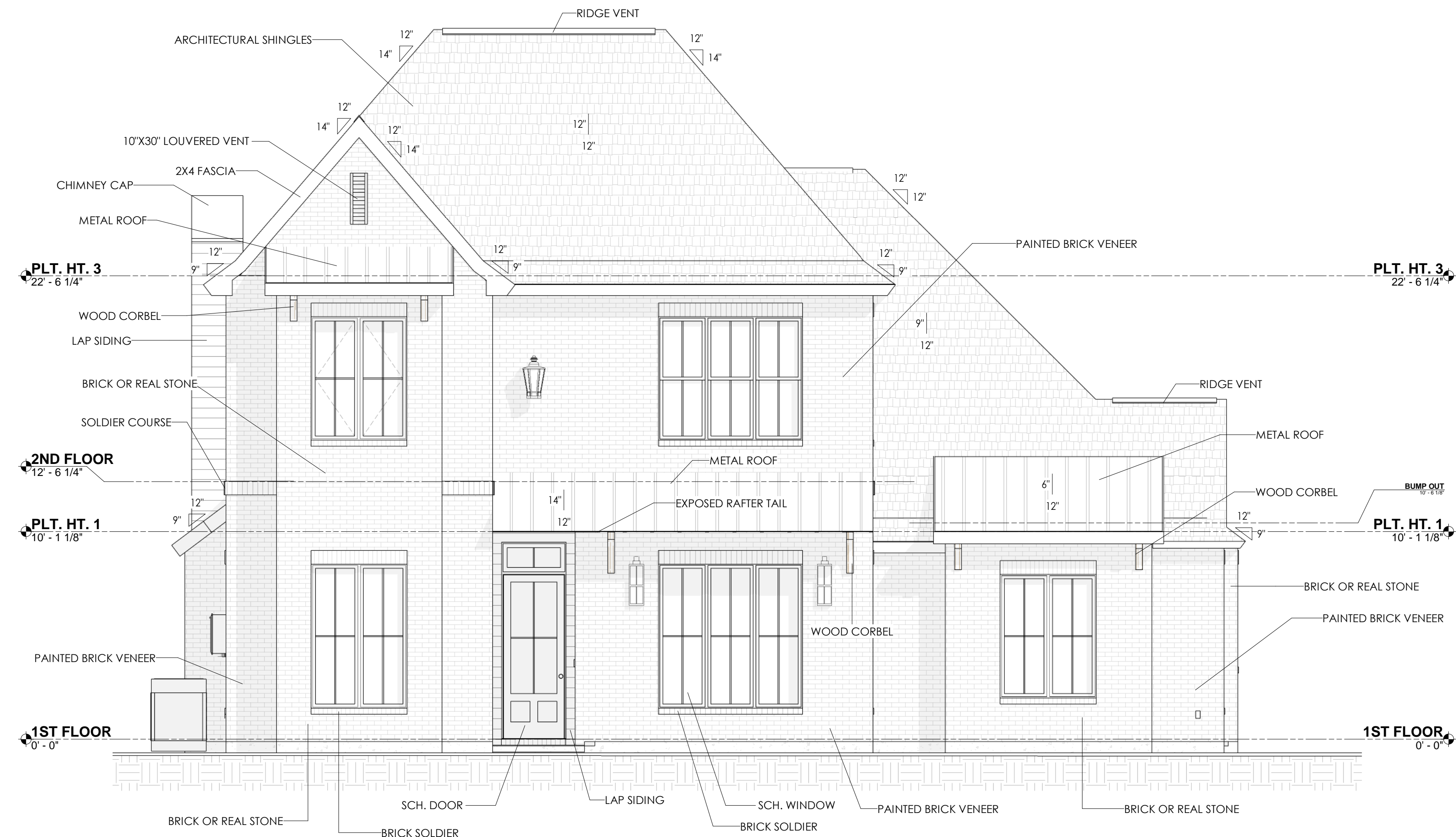
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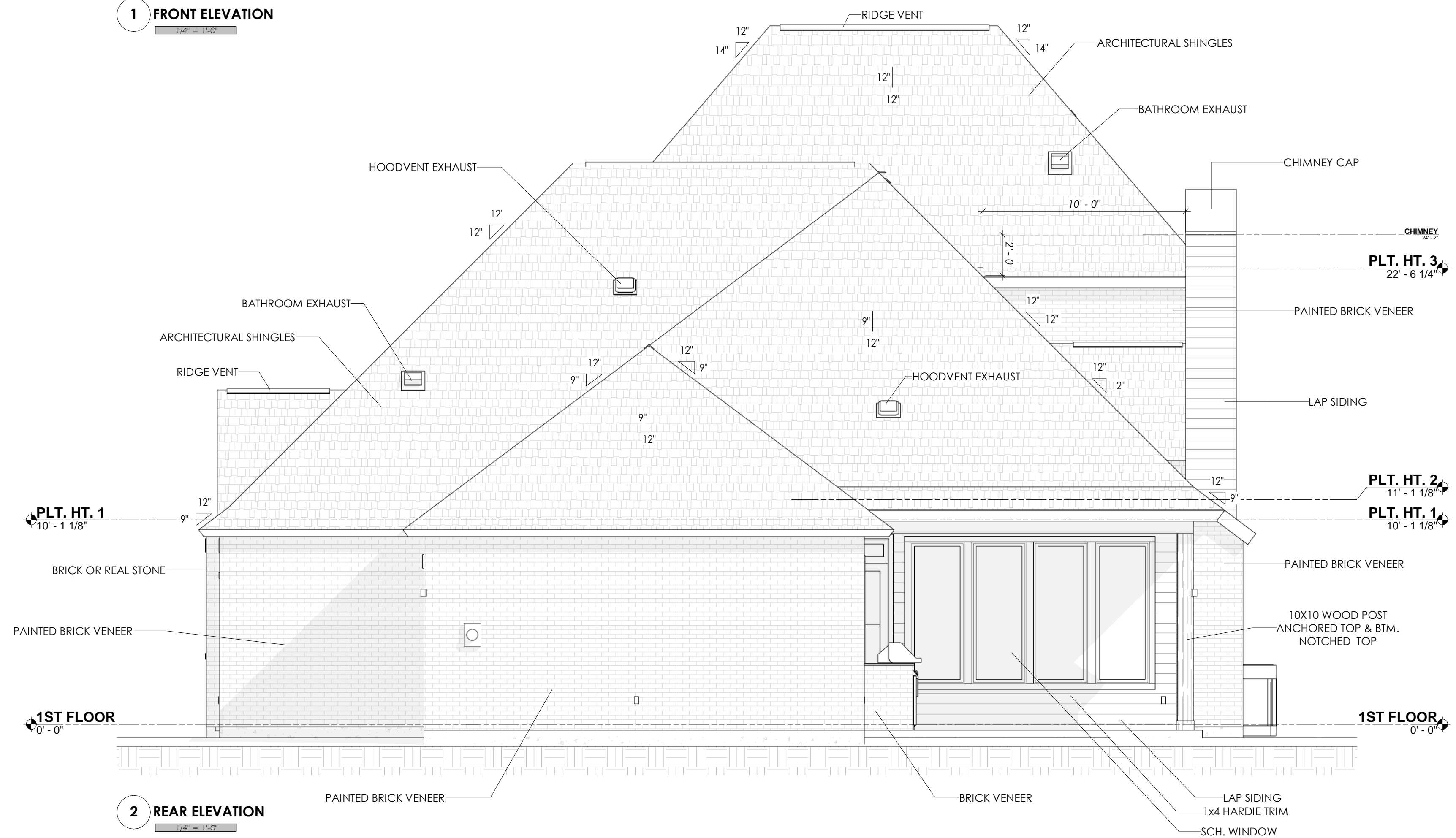
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**ARCH-300**

T - MATERIAL TAKEOFF-WALL	
Brick_Painted	2889 SF
Brick_Pink	418 SF
Hardie_Siding	840 SF
Hardie_Smooth Panel	123 SF
Vapor Retarder	1767 SF



1 FRONT ELEVATION  
1/4" = 1'-0"



2 REAR ELEVATION  
1/4" = 1'-0"



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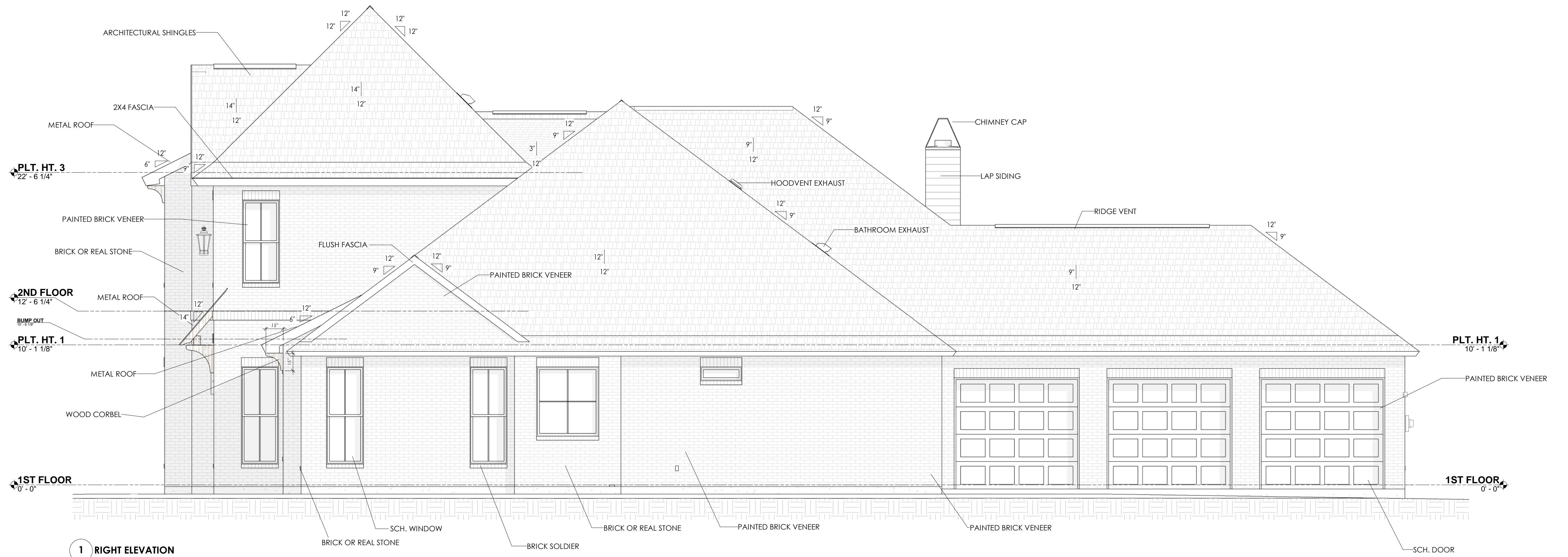
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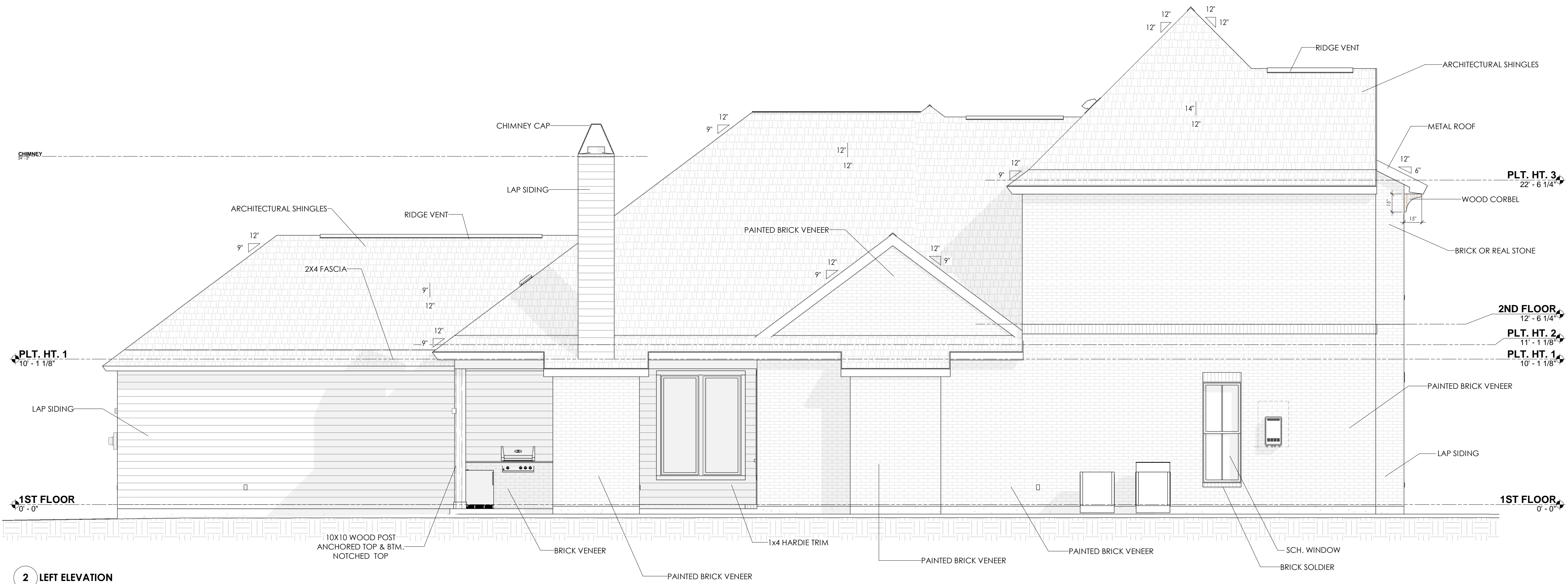
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**1 RIGHT ELEVATION**  
 1/4" = 1'-0"

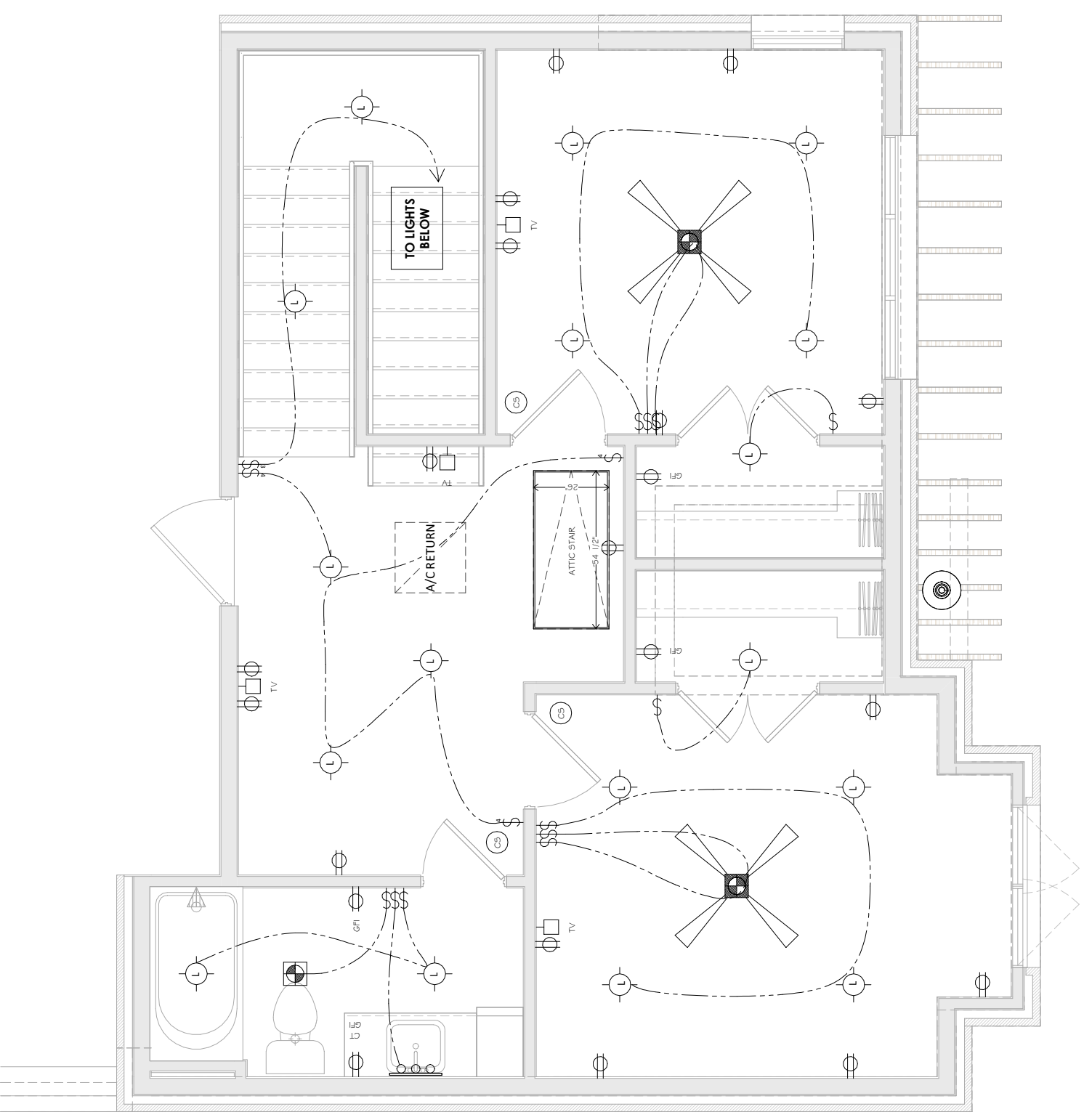


**2 LEFT ELEVATION**  
 1/4" = 1'-0"

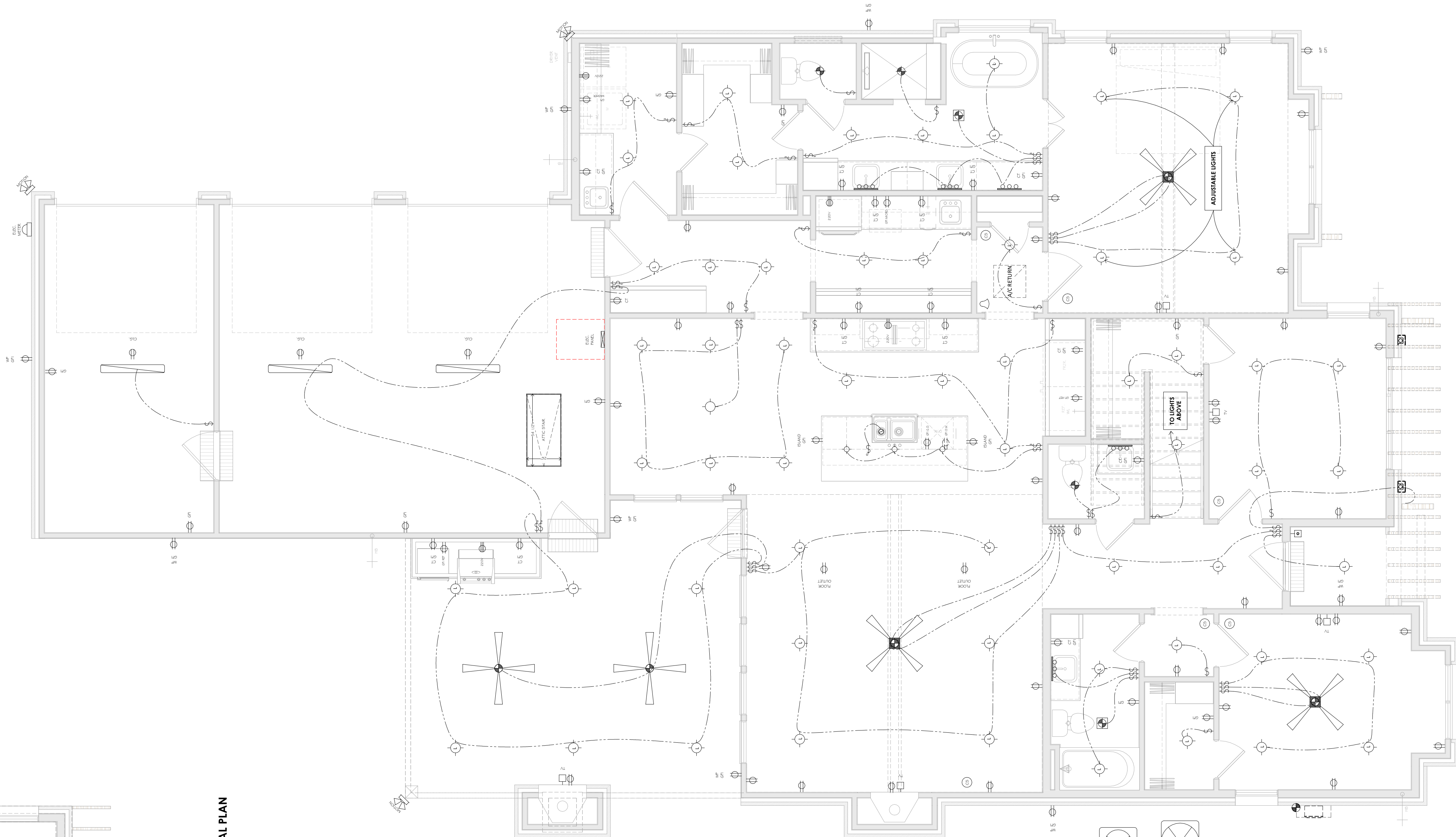
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ELECTRICAL LEGEND	
⊞	SINGLE POLE SWITCH
⊞	3-WAY SWITCH
⊞	4-WAY SWITCH
⊞	DOOR BELL CHIMES
⊞	DOOR BELL
⊞	DUPLEX OUTLET
⊞	GFI OUTLET
⊞	WATERPROOF GFI OUTLET
⊞	COUNTER TOP GFI OUTLET
⊞	220 HIGH VOLTAGE OUTLET
⊞	FLOOR OUTLET
⊞	UNDER CABINET LIGHT
⊞	GARAGE DISPOSAL
⊞	SMOKE DETECTOR
⊞	SMOKE/CARBON DIOXIDE DETECTOR
⊞	TELEPHONE OUTLET
⊞	TELEVISION OUTLET
⊞	ELECTRICAL PANEL
⊞	ELECTRIC METER
⊞	VENT, LIGHT
⊞	HEAT, VENT, LIGHT
⊞	FLOOR LIGHT
⊞	GAS DROP
⊞	EXTERIOR BALL FIXTURE
⊞	CEILING FIXTURE - KEYSLOT
⊞	CEILING FIXTURE - 2 BULB
⊞	CEILING FIXTURE - HANGING
⊞	RECESSED CYLINDRICAL CAN FIXTURE
⊞	RECESSED CAN FIXTURE
⊞	LED FLICK LIGHT
⊞	EXTERIOR CEILING FIXTURE
⊞	HANGING PENDANT FIXTURE
⊞	BATH STRIP LIGHT
⊞	FLUORESCENT FIXTURE RECTANGULAR
⊞	LED WIPAW FIXTURE
⊞	TRANSFORMER SWITCH
⊞	JUNCTION BOX
⊞	CEILING FAN
⊞	LIGHTED CEILING FAN
⊞	LIGHT WITH FAN ROUGH



2 2ND FLOOR ELECTRICAL PLAN  
1/8" = 1'-0"



1 1ST FLOOR ELECTRICAL PLAN  
1/8" = 1'-0"

- N - ELECTRICAL NOTES**
- CONTRACTOR SHALL PROVIDE LIGHT, SWITCH, AND RECEPTACLE IN ATTIC AT ACCESS DOOR.
  - ELECTRICIAN SHALL CENTER ALL CEILING LIGHT FIXTURES ON ROOM UNLESS OTHERWISE NOTED ON PLAN. ELECTRICIAN SHALL VERIFY LOCATION W/ GENERAL CONTRACTOR IF LIGHT FIXTURE IS SHOWN OFF CENTER.
  - SMOKE ALARMS SHALL BE INTERCONNECTED WITH BATTERY BACKUP
  - LISTED ARC FAULT CIRCUIT INTERRUPTERS OF COMBINATION TYPE SHALL BE PROVIDED FOR ALL NON-GFI RECEPTACLES TO PROVIDE PROTECTION FOR THE BRANCH CIRCUIT.
  - ALL VENTING OF APPLIANCES SHALL BE TO THE OUTDOORS
  - CARBON MONOXIDE DETECTORS SHALL BE PROVIDED OUTSIDE EACH SLEEPING AREA ON HOMES WITH FUEL-FIRED APPLIANCES AND/ OR HAVE ATTACHED GARAGES
  - NUMBER AND LOCATION OF ALL A/C VENTS MAY BE VARIED BY PLAN, DETERMINED BY TRADE PARTNER AND PROFESSIONAL CALCULATIONS.



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**Southern Heritage Construction**

4 BEDROOM | 3.5 BATH | STUDY  
FINAL V3

**PLAN 2751**  
59' LOT DESIGN

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**ELEC-600**



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FINALS V3

4 BEDROOM | 3.5 BATH | STUDY

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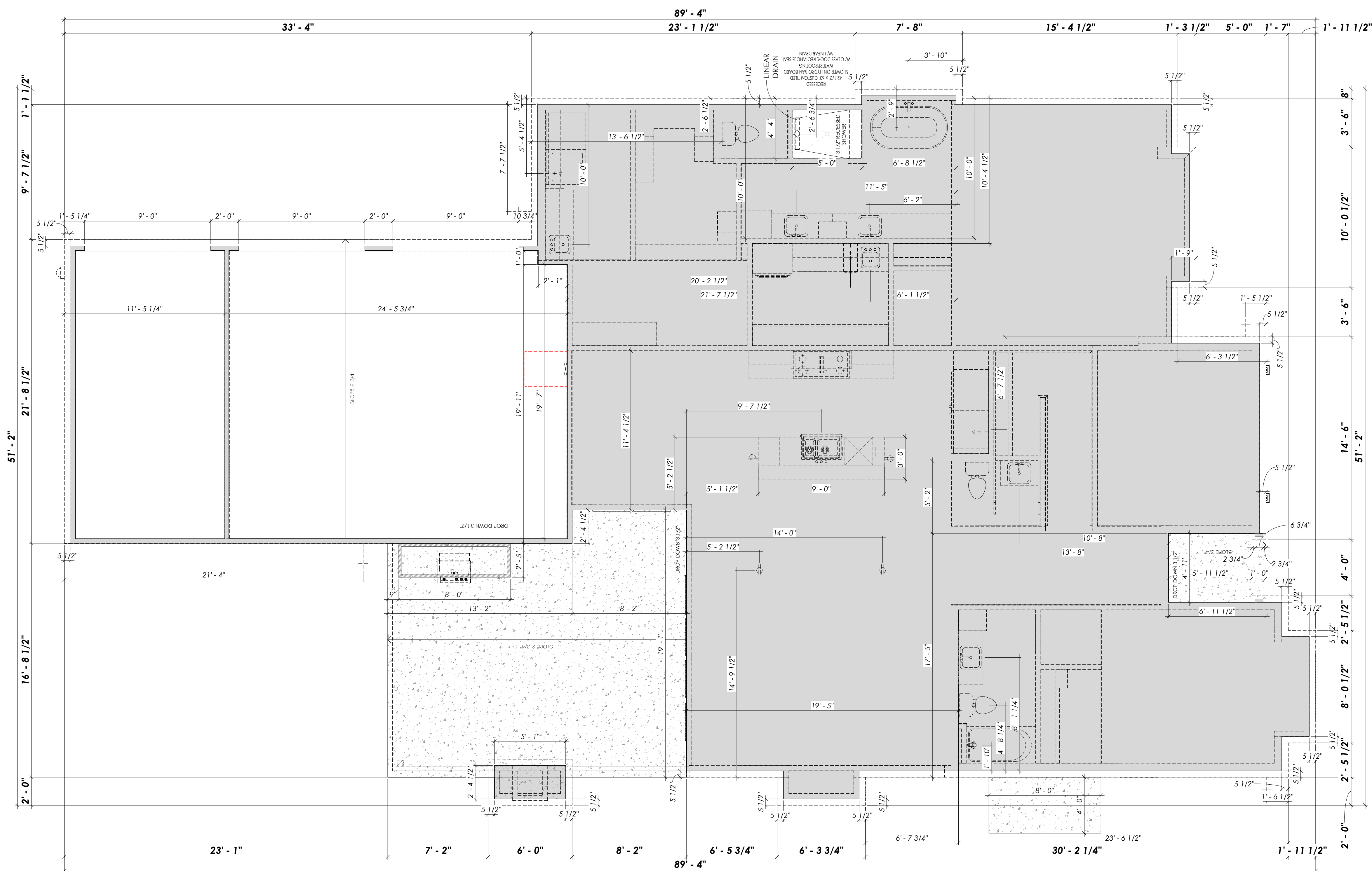
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**PLUMB-700**

1 PLUMB & FNDN. DIMENSION



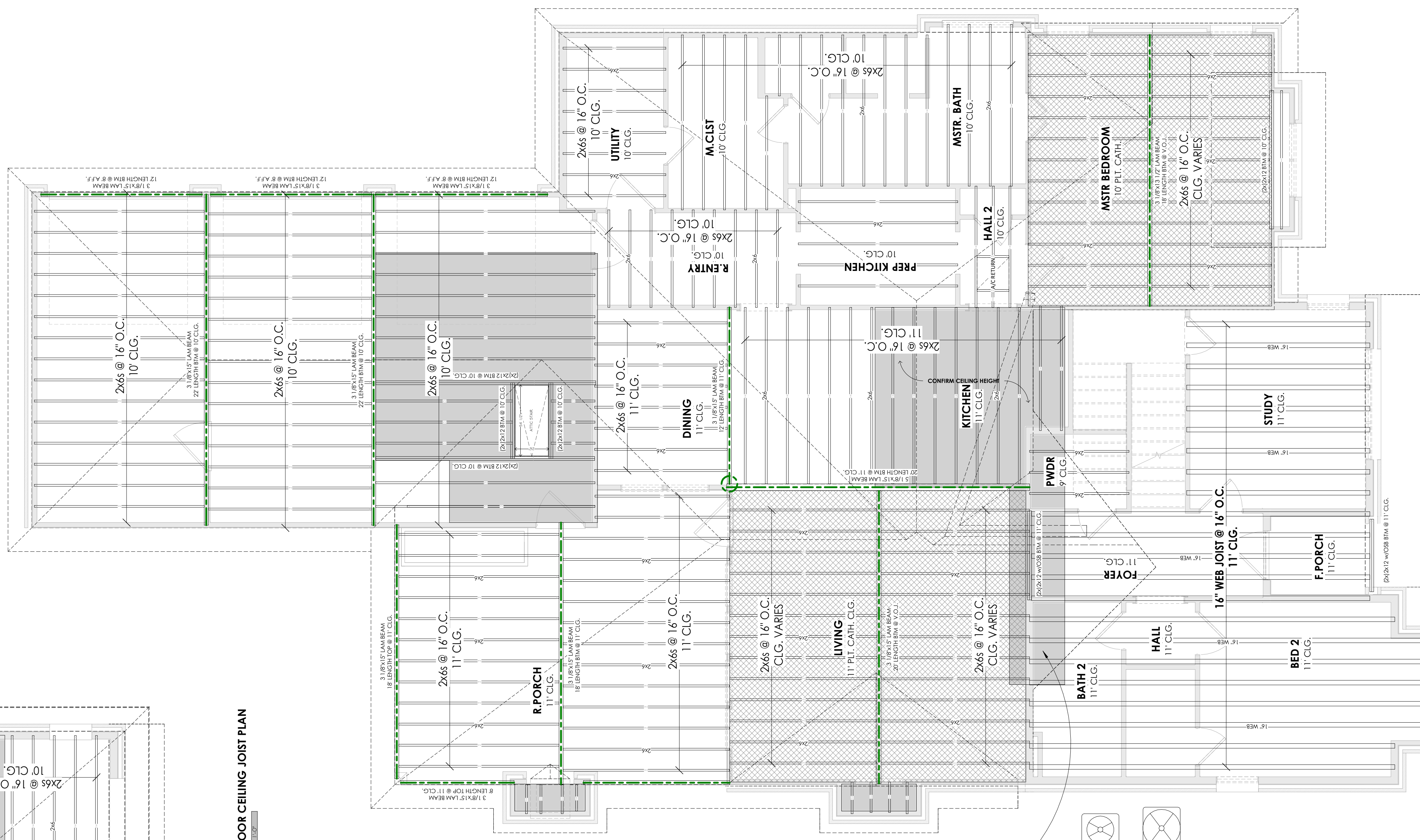
**\*PRELIMINARY DESIGN LAYOUT - NOT FOR CONSTRUCTION\***  
 REFER ALL STRUCTURAL LAYOUT AND DESIGN TO STRUCTURAL  
 ENGINEER FOR APPROVAL

\*DRAWINGS IN THIS PACKAGE ARE TO INDICATED SCALE WHEN PLOTTED ON ANSI D SHEETS (22X34). WHEN PLOTTED ON 11X17 SHEETS, DRAWINGS ARE 1/2 THE SCALE INDICATED.\*



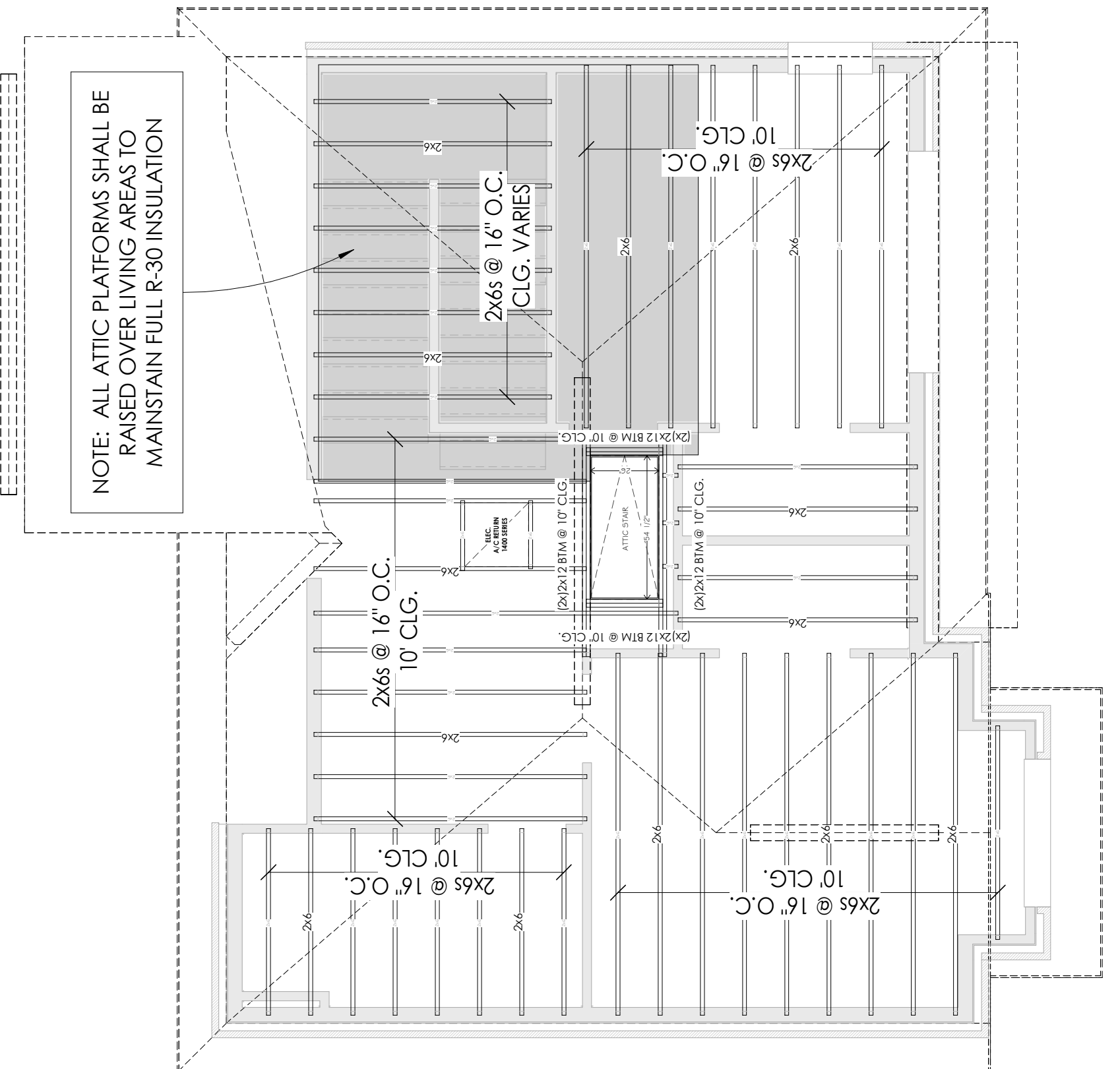
Livable	
1st Floor	2214 SF
2nd Floor	598 SF
	2813 SF
Non-Livable	
Garage	775 SF
Porch	416 SF
	1191 SF
Total Under Roof	4004 SF
Under Roof	4004 SF

1 1ST FLOOR CEILING JOIST PLAN



NOTE: ALL ATTIC PLATFORMS SHALL BE RAISED OVER LIVING AREAS TO MAINTAIN FULL R-30 INSULATION

2 2ND FLOOR CEILING JOIST PLAN



NOTE: ALL ATTIC PLATFORMS SHALL BE RAISED OVER LIVING AREAS TO MAINTAIN FULL R-30 INSULATION

- N - CEILING JOIST NOTES**
- ATTICS CONTAINING APPLIANCES REQUIRING ACCESS SHALL BE PROVIDED WITH A CLEAR AND UNOBSTRUCTED PASSAGEWAY NOT MORE THAN 20' LONG AT CENTERLINE, NOT LESS THAN 24" WIDE.
  - FRAMER TO VERIFY LOCATION OF PLATFORM WITH AC SUBCONTRACTOR BEFORE FINAL PLACEMENT.
  - PLATFORM CONSTRUCTION: 4'X8'X5/8" MIN PLATFORM W/ 2" WIDE CATWALK FOR HVAC BUILT UP WITH ADDITIONAL 2X6 PARALLEL TO AND STACKED VERTICAL UPON CEILING JOIST TO MAINTAIN BLOWN R-30 INSULATION BENEATH SHEATHING AT LIVING AREA. NOTE-DECKING AT WATER HEATER SIMILAR, BUT W/ DIMENSIONAL LUMBER IN LIEU OF SHEATHING
  - FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES AND BETWEEN A TOP STORY AND A ROOF SPACE. FIREBLOCKING MATERIALS SHALL EITHER BE 1/2" GYP. BOARD OR 3/4" PLYWOOD.
  - NOTCHING SHALL NOT EXCEED 1/6 DEPTH OF MEMBER (2" FOR 2X12), AND SHALL NOT BE LOCATED IN MIDDLE 1/3 OF SPAN
  - DIAMETER OF HOLES BORED SHALL NOT EXCEED 1/3 DEPTH OF MEMBER (4" FOR 2X12), NO CLOSER THAN 2" TO TOP OR BOTTOM

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